

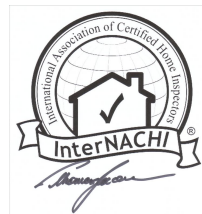
# INSPECTION REPORT



For the Property at:  
**3700 S. CENTRAL**  
CICERO, IL 60804

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Prepared for: JANE DOE  
Inspection Date: Thursday, October 17, 2013  
Prepared by: Thomas Jansson



Acuity Home Inspection Service  
1936 W Estes Ave  
Chicago, IL 60626  
312-217-5249  
IL Lic. 450.003340 exp 11/30/14  
[www.insightinspec.com](http://www.insightinspec.com)  
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January 5, 2014

Dear Jane Doe,

RE: Report No. 1398, v.2  
3700 S. Central  
Cicero, IL  
60804

Thank you for choosing Acuity. If you have questions about your inspection or report, please let me know. You can always e-mail me at [tj@insightinspec.com](mailto:tj@insightinspec.com). The fastest way to reach me is usually my cell: 312.217.5249.

This is an interactive report. Many of the items have blue hyperlinks which connect you to a home inspection database. To navigate quickly between sections, use the tabs at the top of the page.

Where action is recommended, only licensed and insured specialty contractors should be used. When researching costs, you are encouraged to obtain three signed estimates from three different, licensed and insured contractors. Always be sure to compare "apples to apples." Price disparities may indicate different levels of workmanship, design, or materials.

Contractors may uncover additional issues that were not detected or discussed at the inspection. This isn't unusual. Home inspections are non-invasive, non-destructive, limited, visual inspections, performed by a generalist. A specialist will have more detailed knowledge in his or her particular field, and may be authorized to perform certain tasks that a home inspector, performing a normal home inspection, would never do (like removing a wall, spending an hour under a sink, or disassembling the furnace.)

The inspection is a "snapshot in time." It's a look at the house as it appeared on inspection day. Ongoing maintenance, and ongoing monitoring, are important parts of home ownership. There's no such thing as a "maintenance-free" house.

Sincerely,

Thomas Jansson  
on behalf of  
Acuity Home Inspection Service

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# SUMMARY

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**Note:** For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

## Roofing

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • [Missing, loose or torn](#)

Shingles are showing signs of advanced age and wear. Damage and deterioration noted throughout roof.

Roofing replacement is recommended at this time.

Multiple layers were observed. Tear-off required when replacing.

Exposed sheathing at south; chance of water entry, chance of rot. Some plank sheathing replacement may be necessary when replacing roof.

Obtain roof replacement estimates from qualified roofers prior to closing.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

## Exterior

### ROOF DRAINAGE \ Downspouts

**Condition:** • [Too few](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Improve

**Time:** Immediate

### WALLS \ Brick, stone and concrete

**Condition:** • [Masonry deterioration](#)

Masonry deterioration; brick erosion/spalling noted at south, southwest, and north. Typical defect for buildings of this age and type. Mortar repair and brick maintenance is needed throughout. Consult with licensed masonry contractor for whole-house tuck-pointing quote prior to closing.

**Implication(s):** Weakened structure | Chance of structural movement

**Condition:** • [Mortar deterioration](#)

Mortar cracks noted throughout. Structural movement suspected. Have mortar repaired by licensed masonry contractor as needed throughout prior to closing.

**Implication(s):** Chance of water entering house | Weakened structure | Chance of structural movement

**Location:** Throughout

**Task:** Repair

**Time:** Immediate

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## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

**Condition:** • [Masonry or concrete cracking](#)

Previous cosmetic repairs. Front steps are cracking. Loose concrete, loose handrail. Have steps replaced by licensed masonry contractor prior to closing.

**Implication(s):** Weakened structure

**Location:** Front

**Task:** Replace

**Time:** Immediate

## Structure

### General

- Possible insect activity noted at NE corner of building at basement. Unidentified "sawdust-like" material was observed in electrical panel. This material may be related to insect activity. Further evaluation by a licensed pest contractor specializing in wood-destroying organisms is recommended prior to closing.
- Main stairway is pulling away from trim stringer at north. It appears that the top of the stairway has moved approximately 1-1/2" laterally away from the wall. Further review and repair as needed by licensed structural contractor is recommended prior to closing.

## FOUNDATIONS \ Performance opinion

**Condition:** • Suspect

Fully finished basement prevented direct observation of the foundation. Foundation performance is suspect due to exterior masonry cracks and elevated moisture levels detected in basement. See water intrusion notes in "Interior" section of this report.

Further evaluation of foundation by waterproofing specialist is recommended prior to closing. Further evaluation of foundation (when exposed) by licensed home inspector or structural engineer is recommended.

**Implication(s):** Chance of structural movement

**Task:** Further Evaluation

## WALLS \ Solid masonry walls

**Condition:** • [Lintels rusting](#)

Have lintels serviced as needed when tuck-pointing exterior of structure. It appears that a window was removed and bricked up at the north. The lintel was left in the wall, and is now deteriorating and pushing the bricks apart. Have repaired as needed by licensed masonry contractor.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Throughout

**Task:** Service

**Time:** Immediate

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## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • [Double taps](#)

**Implication(s):** Fire hazard

**Location:** Panel

**Task:** Correct

**Time:** Immediate

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Reversed polarity](#)

**Implication(s):** Electric shock

**Location:** Addition

**Task:** Correct

**Time:** Immediate

**Condition:** • Arc Fault Interrupter (AFI) needed

Current national standards require Arc Fault Interrupter (AFI) outlets for all bedroom outlet circuits. Have AFI breakers added as needed by licensed electrician to enhance the safety of the electrical system. For more information about AFI protection, see "Appendix" section of this report.

**Location:** Panel

**Task:** Install

**Time:** Immediate

## Heating

### GAS FURNACE \ Ducts, registers and grilles

**Condition:** • [Poor location](#)

Opening in return plenum can lead to carbon monoxide entering the living space. Carbon monoxide is a colorless, odorless, deadly poisonous gas. This opening must be properly sealed to prevent carbon monoxide poisoning. Have furnace reviewed and corrected as needed by licensed HVAC tech prior to use.

**Location:** Furnace

**Task:** Correct

**Time:** Immediate

## Plumbing

### WATER HEATER - GAS BURNER AND VENTING \ Venting system

**Condition:** • [Improper material](#)

Flexible ductwork used as vent connector. Improper slope; may cause backdrafting of combustion gasses into house. Have reviewed by licensed plumbing or heating contractor and repair as needed.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

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## Interior

### WALLS \ Plaster or drywall

**Condition:** • [Water damage](#)

Very high moisture levels noted at basement interior at south and east. Advanced rot and deterioration observed at weight room (south side near front of building). Mold or mildew staining observed at south and east.

Extremely high moisture levels were observed; it is almost a certainty that rot and mold will be found once the drywall has been removed.

Mold testing was not performed at this inspection.

Drywall should be removed as needed throughout basement, to facilitate further investigation and repair. Foundation cracks are probably present, but could not be directly observed due to the presence of drywall. Have basement leaks repaired by licensed basement waterproofing contractor prior to closing.

**Implication(s):** Cosmetic defects

**Location:** Throughout Basement

**Task:** Further evaluation/Repair

**Time:** Immediate

**Condition:** • [Cracked](#)

Large wall crack noted at south, second floor. Indication of structural movement. Have repaired as needed prior to closing.

**Task:** Repair

**Time:** Ongoing

### CEILINGS \ General

**Condition:** • [Water damage](#)

Water damage, blistering plaster noted at second floor, east. Area was scanned with moisture meter; elevated moisture levels were detected. An active leak is suspected. May be related to either failed chimney flashing or the overall poor condition of the roof. Have water source positively identified and repaired prior to repair of interior finished surfaces.

Elevated moisture levels may support mold growth. Mold testing was not performed at this inspection.

**Implication(s):** Cosmetic defects | Chance of movement

This is the end of the summary section. The remainder of the report deals with individual systems in more detail, and may list conditions that were not included in the summary section. Please read the entire report.

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## Description

**General:** • The Description section identifies components in the home by material or type. This is provided as an inventory, and no observations or comments on conditions are included here.

**Sloped roofing material:** • [Asphalt shingles](#)

**Probability of leakage:** • High

## Limitations

**Inspection performed:** • With binoculars from the ground • From roof edge

## Recommendations

### General

• Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • [Missing, loose or torn](#)

Shingles are showing signs of advanced age and wear. Damage and deterioration noted throughout roof.

Roofing replacement is recommended at this time.

Multiple layers were observed. Tear-off required when replacing.

Exposed sheathing at south; chance of water entry, chance of rot. Some plank sheathing replacement may be necessary when replacing roof.

Obtain roof replacement estimates from qualified roofers prior to closing.

**Implication(s):** Chance of water damage to contents, finishes and/or structure



*Missing shingles*



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*Exposed sheathing*



*Missing, loose or torn*



*Roof is in poor condition*



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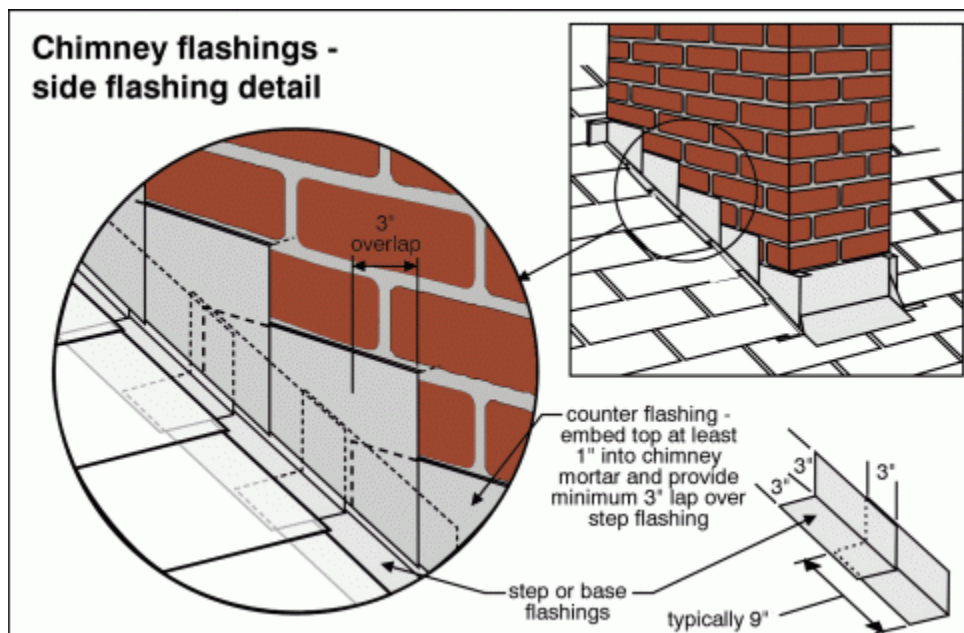
*Exposed sheathing*

## **SLOPED ROOF FLASHINGS \ Chimney flashings**

**Condition:** • [Not let into mortar joints](#)

Chimney is "flashed" with tar. Although common, tar "flashing" is a problematic solution to roof leaks. This is a low-cost alternative to real chimney flashing. May leak unexpectedly; regular maintenance is needed to prevent roof leaks. You are encouraged to have the chimney properly flashed with metal flashing when replacing roof. Consult with licensed roofing contractor for repair estimates.

**Implication(s):** Chance of water damage to contents, finishes and/or structure



[Click on image to enlarge.](#)

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*Chimney "flashed" with roofing cement*

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## Description

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Downspout discharge:** • [Below grade](#)

**Lot slope:** • [Flat](#)

**Wall surfaces - masonry:** • [Brick](#)

**Driveway:** • Concrete

**Walkway:** • Concrete

**Exterior steps:** • Concrete

**Fence:** • Wood

## Limitations

**Inspection limited/prevented by:** • Car/storage in garage

**Exterior inspected from:** • Ground level

## Recommendations

### ROOF DRAINAGE \ Gutters

**Condition:** • Basement leakage is often caused by conditions on the exterior of the home. Basements aren't built like boats, and if water is allowed to collect outside of foundation walls, it will leak through into the basement. It's important that gutters and downspouts collect roof water and carry it away from the house. Similarly, lot grading around the house should slope down away from the building so that surface water from rain and melting snow is directed away from the building, rather than toward the foundation.

### ROOF DRAINAGE \ Downspouts

**Condition:** • [Too few](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Improve

**Time:** Immediate

# EXTERIOR

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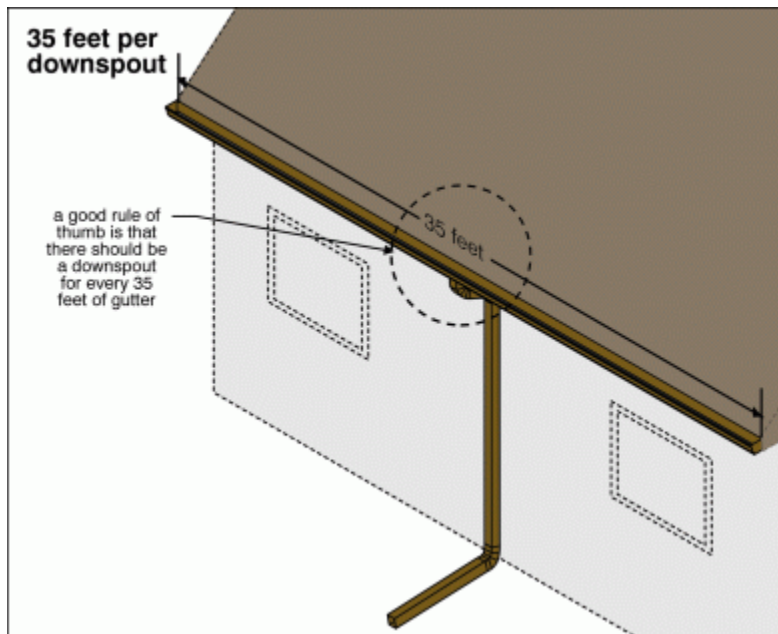
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## WALLS \ Brick, stone and concrete

### Condition: • [Masonry deterioration](#)

Masonry deterioration; brick erosion/spalling noted at south, southwest, and north. Typical defect for buildings of this age and type. Mortar repair and brick maintenance is needed throughout. Consult with licensed masonry contractor for whole-house tuck-pointing quote prior to closing.

**Implication(s):** Weakened structure | Chance of structural movement



Masonry deterioration



Masonry deterioration



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*Masonry deterioration*

**Condition:** • [Mortar deterioration](#)

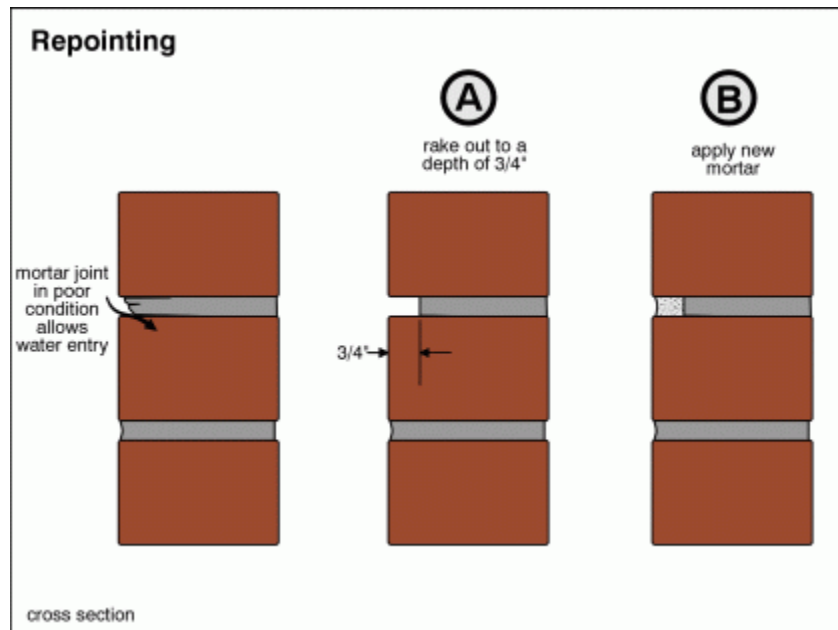
Mortar cracks noted throughout. Structural movement suspected. Have mortar repaired by licensed masonry contractor as needed throughout prior to closing.

**Implication(s):** Chance of water entering house | Weakened structure | Chance of structural movement

**Location:** Throughout

**Task:** Repair

**Time:** Immediate



[Click on image to enlarge.](#)

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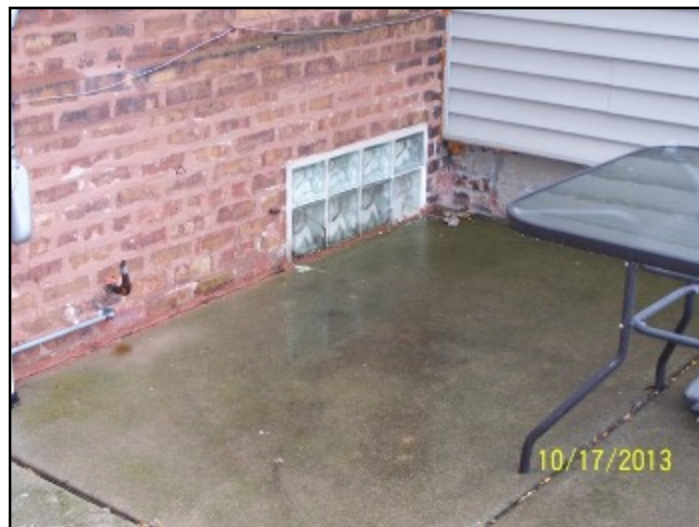
*Mortar deterioration*



*Mortar deterioration*

## **EXTERIOR GLASS \ General**

**Condition:** • Glass block below grade. May contribute to water entry in basement. Cracked block. Replacement of glass block with solid brick is recommended. Have evaluated and repaired as needed by licensed masonry contractor.



*Window below grade; chance of water entry*

## **EXTERIOR GLASS \ Exterior trim**

**Condition:** • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

**Task:** Service

**Time:** Regular maintenance



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*Deteriorating caulk at windows throughout*

## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings**

**Condition:** • [Masonry or concrete cracking](#)

Previous cosmetic repairs. Front steps are cracking. Loose concrete, loose handrail. Have steps replaced by licensed masonry contractor prior to closing.

**Implication(s):** Weakened structure

**Location:** Front

**Task:** Replace

**Time:** Immediate



*Loose materials*



*Masonry or concrete cracking*

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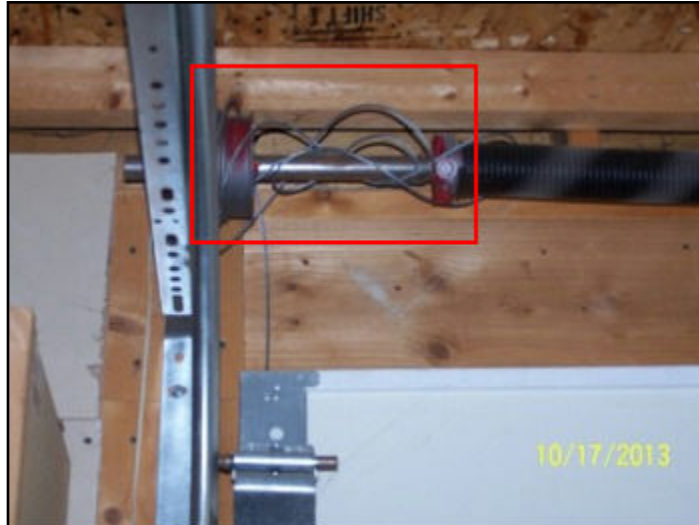
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## OUTBUILDING / GARAGE \ Vehicle door operators

**Condition:** • [Inoperative](#)

Yard-side vehicle door failed to close due to tangled cable. Have repaired as needed by licensed garage door repairman prior to closing.

**Implication(s):** System inoperative



*Tangled cable*

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## Description

**Configuration:** • [Basement](#)**Foundation material:** • [Poured concrete](#) • Not visible**Floor construction:** • [Joists](#)**Exterior wall construction:** • [Masonry](#)**Roof and ceiling framing:** • [Rafters/roof joists](#) • [Plank sheathing](#)

## Limitations

**Inspection limited/prevented by:** • Carpet/furnishings • Storage • New finishes/paint**Attic/roof space:** • Inspected from access hatch**Percent of foundation not visible:** • 100 %

## Recommendations

### General

- Possible insect activity noted at NE corner of building at basement. Unidentified "sawdust-like" material was observed in electrical panel. This material may be related to insect activity. Further evaluation by a licensed pest contractor specializing in wood-destroying organisms is recommended prior to closing.



*Unidentified debris in electrical panel.*

- Main stairway is pulling away from trim stringer at north. It appears that the top of the stairway has moved approximately 1-1/2" laterally away from the wall. Further review and repair as needed by licensed structural contractor is recommended prior to closing.



*Lateral movement at stairway*

## **FOUNDATIONS \ Performance opinion**

**Condition:** • Suspect

Fully finished basement prevented direct observation of the foundation. Foundation performance is suspect due to exterior masonry cracks and elevated moisture levels detected in basement. See water intrusion notes in "Interior" section of this report.

Further evaluation of foundation by waterproofing specialist is recommended prior to closing. Further evaluation of foundation (when exposed) by licensed home inspector or structural engineer is recommended.

**Implication(s):** Chance of structural movement

**Task:** Further Evaluation

## **FLOORS \ Joists**

**Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** Throughout

**Task:** Repair

**Time:** Immediate



# STRUCTURE

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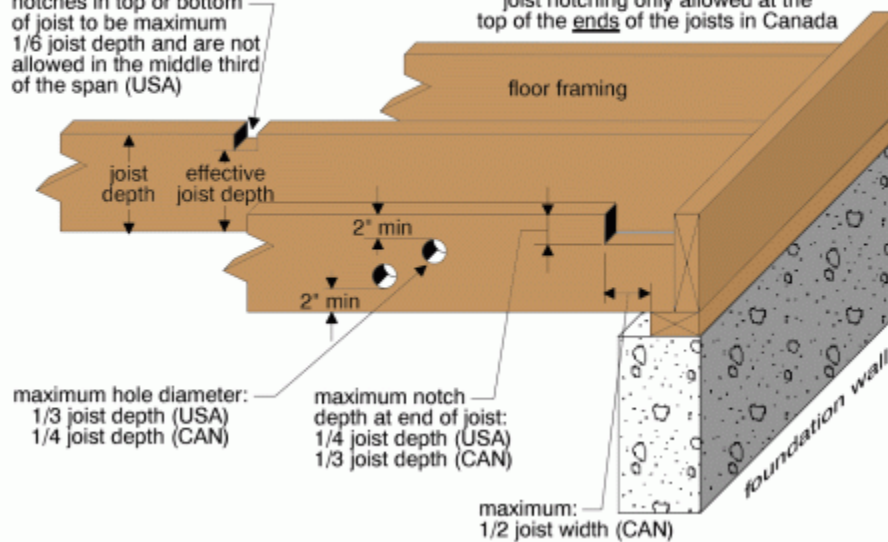
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## Joist notching and drilling

notches in top or bottom of joist to be maximum 1/6 joist depth and are not allowed in the middle third of the span (USA)

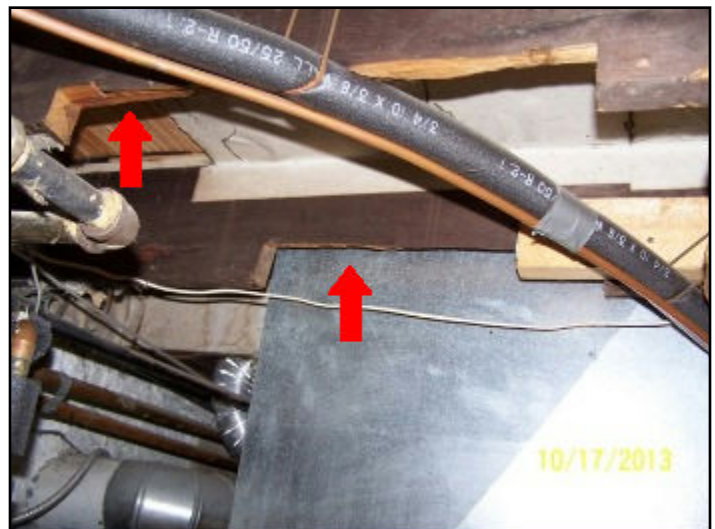
**note:**  
joist notching only allowed at the top of the ends of the joists in Canada



[Click on image to enlarge.](#)



Notches or holes



Notches or holes

## WALLS \ Solid masonry walls

**Condition:** • [Prior repairs](#)

**Implication(s):** Weakened structure

**Location:** Throughout

**Condition:** • [Cracked](#)

Cracked window sills indicate structural movement. Have repaired or replaced as needed by licensed masonry contractor prior to closing.

**Implication(s):** Weakened structure

**Location:** South 1st & 2nd floors

**Task:** Repair/Replace



*Cracked sill*

**Condition:** • [Masonry deteriorating](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various

**Task:** Repair

**Time:** Immediate

**Condition:** • [Lintels rusting](#)

Have lintels serviced as needed when tuck-pointing exterior of structure. It appears that a window was removed and bricked up at the north. The lintel was left in the wall, and is now deteriorating and pushing the bricks apart. Have repaired as needed by licensed masonry contractor.

**Implication(s):** Weakened structure | Chance of structural movement

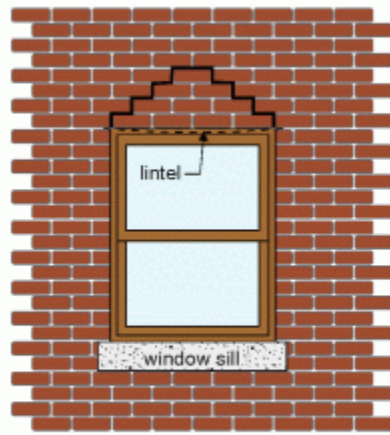
**Location:** Throughout

**Task:** Service

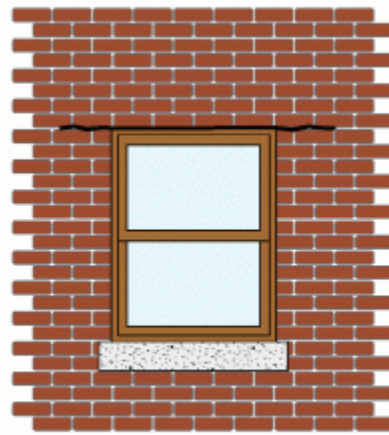
**Time:** Immediate



## Lintel related wall cracks



crack pattern commonly associated with sagging lintels due to undersizing or deterioration



horizontal crack often caused by rusting steel lintels expanding

[Click on image to enlarge.](#)



*Lintels rusting*

**Condition:** • [Mortar deteriorating](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Throughout

**Task:** Repair

**Time:** Immediate

### WALLS \ Lintels

**Condition:** • Space above lintel has been filled with caulk. This space should be left open. It is supposed to provide drainage for the wall cavity. Caulking the lintel can contribute to interior water problems, and will contribute to rust and premature failure of the lintel.

Lintel should be checked and serviced as needed by an experienced, licensed and insured masonry contractor prior to

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closing.

## **ROOF FRAMING \ Sheathing**

**Condition:** • [Water stains](#)

**Implication(s):** Material deterioration

## Description

**Service entrance cable and location:** • [Overhead](#)

**Service size:** • [100 Amps \(240 Volts\)](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution wire material and type:** • [Copper - conduit](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - kitchen and bathrooms • GFCI-Exterior

**Smoke detectors:** • [Present](#)

**Carbon monoxide (CO) detectors:** • None noted

## Limitations

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations

### General

• Any electrical recommendations should be considered high priority items, since all electrical issues are safety concerns.

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • Panel checked



*Panel checked*

## SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

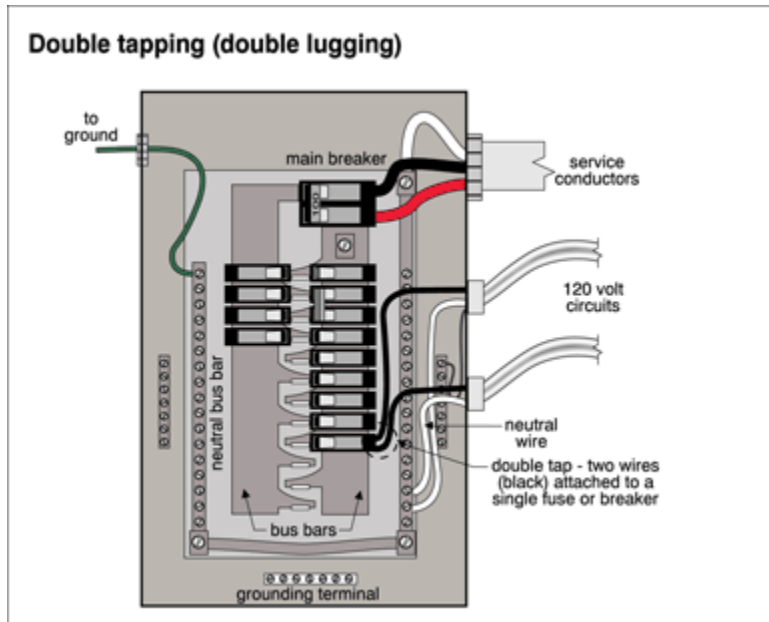
**Condition:** • [Double taps](#)

**Implication(s):** Fire hazard

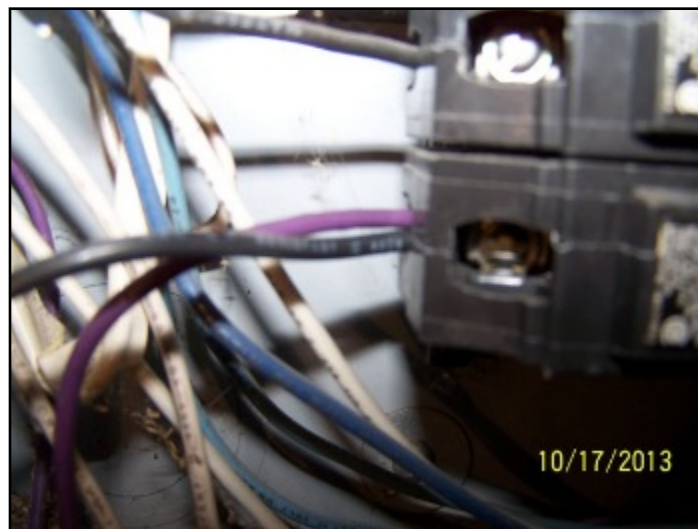
**Location:** Panel

**Task:** Correct

**Time:** Immediate



[Click on image to enlarge.](#)



*Double taps*

**DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**Condition:** • GFI protected by GFI upstream. Nuisance. Have corrected by licensed electrician prior to closing.

**Location:** Kitchen

**Task:** Correct

**Time:** Discretionary

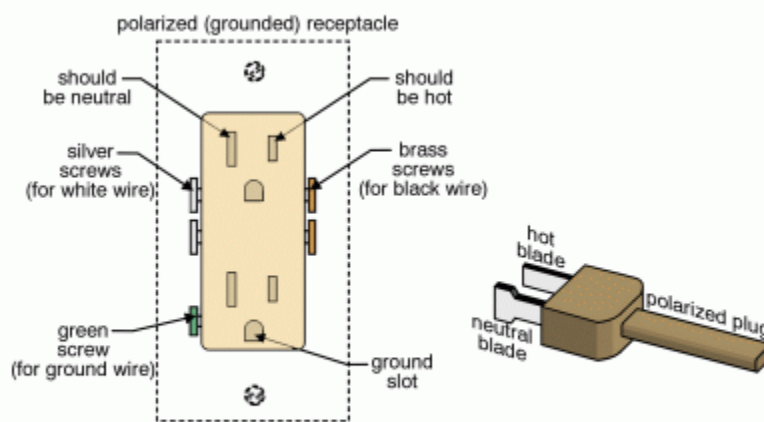
**Condition:** • [Reversed polarity](#)

**Implication(s):** Electric shock

**Location:** Addition

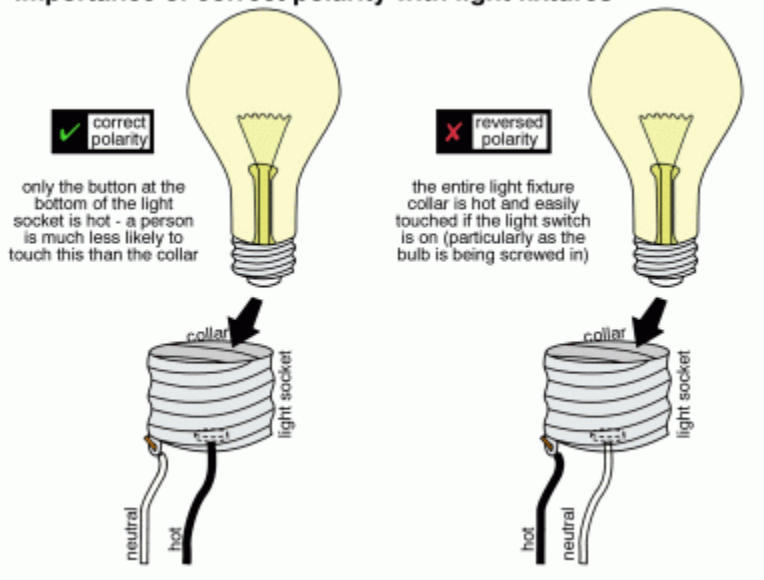
**Task:** Correct

**Time:** Immediate

**Reversed polarity**

when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

[Click on image to enlarge.](#)

**Importance of correct polarity with light fixtures**

[Click on image to enlarge.](#)

**Condition:** • [Ground needed for 3-slot outlet](#)

**Implication(s):** Electric shock

**Location:** Throughout

**Task:** Correct

**Time:** Immediate

**Condition:** • Arc Fault Interrupter (AFI) needed

Current national standards require Arc Fault Interrupter (AFI) outlets for all bedroom outlet circuits. Have AFI breakers added as needed by licensed electrician to enhance the safety of the electrical system. For more information about AFI protection, see "Appendix" section of this report.

**Location:** Panel

**Task:** Install

**Time:** Immediate

## **DISTRIBUTION SYSTEM \ Cover plates**

**Condition:** • [Missing](#)

**Implication(s):** Electric shock

**Location:** Kitchen

**Task:** Install

**Time:** Immediate



*Missing cover plates*



# HEATING

3700 S. Central, Cicero, IL    October 17, 2013

Report No. 1398, v.2

[www.insightinspect.com](http://www.insightinspect.com)

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## Description

**Fuel/energy source:** • [Gas](#)

**System type:** • [Furnace](#)

**Furnace manufacturer:** • Frigidaire

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [95,000 BTU/hr](#)

**Efficiency:** • [Mid-efficiency](#)

**Approximate age:** • [13 years](#)

**Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years

**Main fuel shut off at:** • Meter

**Combustion air source:** • Interior of building

## Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Only a small portion visible

## Recommendations

### RECOMMENDATIONS \ Overview

**Condition:** • Annual maintenance by licensed appliance technician is recommended to ensure system efficiency and maximum service life.

### GAS FURNACE \ Ducts, registers and grilles

**Condition:** • [Poor location](#)

Opening in return plenum can lead to carbon monoxide entering the living space. Carbon monoxide is a colorless, odorless, deadly poisonous gas. This opening must be properly sealed to prevent carbon monoxide poisoning. Have furnace reviewed and corrected as needed by licensed HVAC tech prior to use.

**Location:** Furnace

**Task:** Correct

**Time:** Immediate

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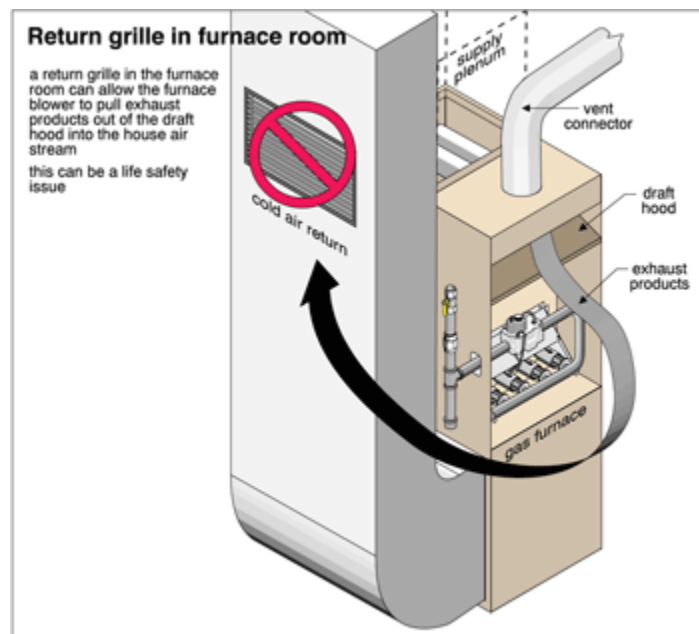
HEATING

COOLING

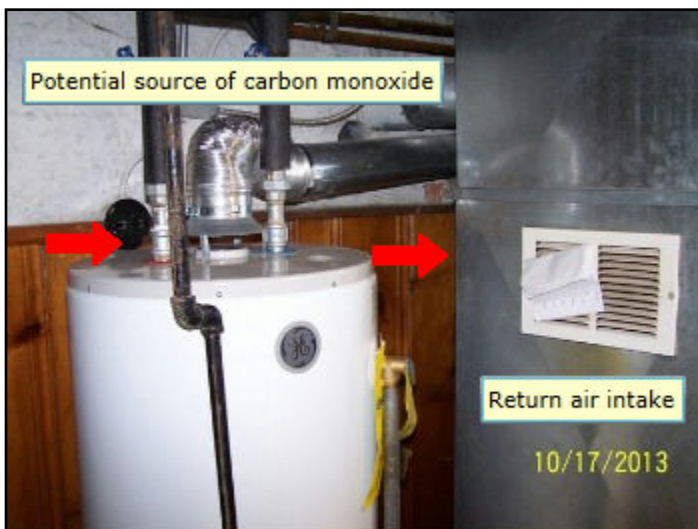
PLUMBING

INTERIOR

APPENDIX



[Click on image to enlarge.](#)



*Paper indicates this is return (suction) duct*



*Openings in return duct are hazardous here*

# COOLING & HEAT PUMP

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## Description

**Manufacturer:** • Frigidaire

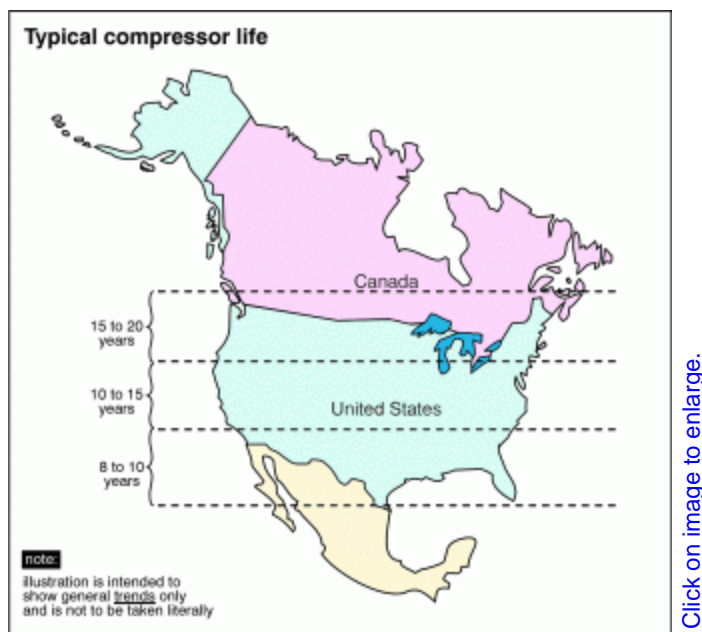
**Compressor approximate age:** • 13 years

**Typical life expectancy:** • 10 to 15 years

**Failure probability:** • [High](#) • [Medium](#)

## Limitations

**Inspection limited/prevented by:** • Damage to the compressor can result if the outdoor temperature has not been above 65 degrees for 12 hours prior to testing. Therefore, the air conditioning system was not tested at this inspection.



**Inspection limited/prevented by:** • Low outdoor temperature

**Heat gain/loss calculations:** • Heat gain and loss calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for heating and cooling systems prior to installation.

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## Description

**Water supply source:** • Public

**Service piping into building:** • [Not visible](#)

**Supply piping in building:** • [Copper](#) • [Galvanized steel](#)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Functional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • [Conventional](#)

**Waste disposal system:** • [Public](#)

**Waste piping in building:** • [Cast Iron](#) • [Galvanized steel](#) • [Not visible](#)

**Gas piping:** • Steel

## Limitations

**Items excluded from a building inspection:** • Floor Drains • Sealed catch basins • Buried plumbing

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested

## Recommendations

### **SUPPLY PLUMBING \ Supply piping in building**

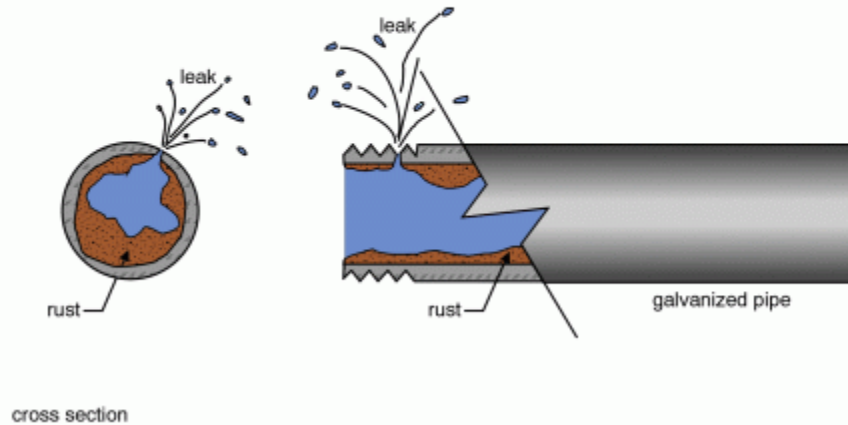
**Condition:** • [Galvanized steel](#)

Supply piping is a mix of newer copper and older galvanized steel. The galvanized has a service life of 50 years. After that time, problems can develop, including leakage and reduced water pressure. Replacement of the remaining steel supply pipe is recommended as a preventative measure. Timing is discretionary, but should probably be done within the next 5-10 years.

## Galvanized steel pipe

rusting of galvanized pipe can greatly reduce water pressure and will eventually cause leaks as rust creates holes in the pipe walls

problems are likely to occur soonest on pipes carrying hot water, horizontal pipes and at threaded (thinner) sections



[Click on image to enlarge.](#)



*Galvanized steel and copper supply pipe*

## WATER HEATER \ Tank

**Condition:** • Safety pan and drain missing

**Implication(s):** Chance of water damage to contents, finishes and/or structure

## WATER HEATER \ Temperature/pressure relief valve

**Condition:** • [Discharge tube threaded](#)

Have water heater TPR discharge tube replaced in accordance with manufacturer's instructions by licensed and insured plumbing contractor prior to closing. A straight copper tube of the proper diameter and length is preferred.

**Implication(s):** Steam explosion



*Discharge tube threaded, not straight*

## WATER HEATER - GAS BURNER AND VENTING \ Venting system

**Condition:** • [Improper material](#)

Flexible ductwork used as vent connector. Improper slope; may cause backdrafting of combustion gasses into house. Have reviewed by licensed plumbing or heating contractor and repair as needed.

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home



*Improper material/poor support*



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## **FIXTURES AND FAUCETS \ Basin, sink and laundry tub**

**Condition:** • Drain stop ineffective

**Implication(s):** Nuisance | Reduced operability

**Location:** Second Floor Bathroom

**Task:** Repair

**Time:** Discretionary

## **FIXTURES AND FAUCETS \ Toilet**

**Condition:** • Damaged flush handle

**Task:** Replace handle

**Time:** Discretionary

## Description

**Major floor finishes:** • [Hardwood](#)

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Single/double hung](#) • Vinyl

**Glazing:** • [Double](#)

**Evidence of basement leakage:** • Present • Stains • Dampness • Mold • Mildew • Rot • Loose floor tiles

**Oven fuel:** • Gas

**Range fuel:** • Gas

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside

## Limitations

**General:** • A HOME INSPECTION IS NOT A PEST INSPECTION. Insects, rodents, or wildlife of any kind are not included in this inspection. You are encouraged to retain an appropriately licensed pest inspector if you would like a pest inspection.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

**Not tested/not in service:** • Refrigerator

**Not tested/not in service:** • Range • Oven • Microwave

**Not included as part of a building inspection:** • Telephone lines, cable television reception, antennas, digital cable, satellite dishes and all other electronic, digital, or fiber optic communication systems are not included in a home inspection. • Audio, Video, Computer, or Entertainment Systems

**Not included as part of a building inspection:** • Carbon monoxide detectors • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 100 %

**Basement leakage:** • Cannot predict how often or how badly basement will leak

## Recommendations

**FLOORS \ Ceramic tile, stone, marble, etc**

**Condition:** • [Grout missing](#)

**Implication(s):** Cosmetic defects | Trip or fall hazard

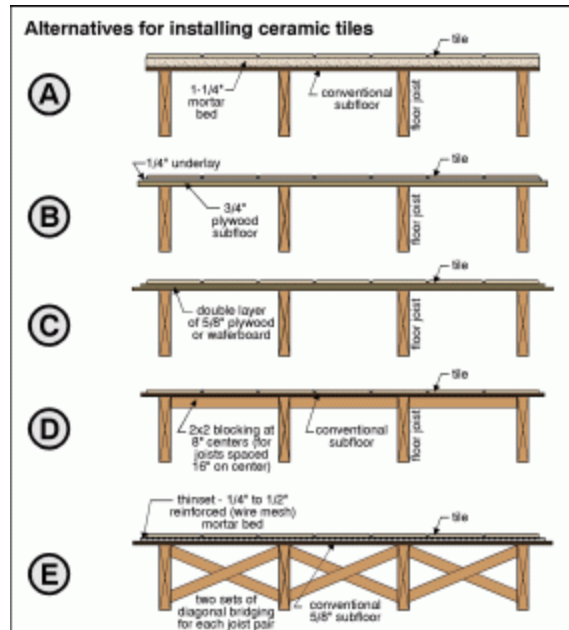
**Location:** North

**Condition:** • [Tiles missing](#)

**Implication(s):** Cosmetic defects | Trip or fall hazard

**Location:** North

**Task:** Correct



[Click on image to enlarge.](#)

## WALLS \ General

**Condition:** • Typical flaws

**Implication(s):** Cosmetic defects

**Location:** Throughout

## WALLS \ Plaster or drywall

**Condition:** • [Water damage](#)

Very high moisture levels noted at basement interior at south and east. Advanced rot and deterioration observed at weight room (south side near front of building). Mold or mildew staining observed at south and east.

Extremely high moisture levels were observed; it is almost a certainty that rot and mold will be found once the drywall has been removed.

Mold testing was not performed at this inspection.

Drywall should be removed as needed throughout basement, to facilitate further investigation and repair. Foundation cracks are probably present, but could not be directly observed due to the presence of drywall. Have basement leaks repaired by licensed basement waterproofing contractor prior to closing.

**Implication(s):** Cosmetic defects

**Location:** Throughout Basement

**Task:** Further evaluation/Repair

**Time:** Immediate

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*Moisture saturation, basement south*



*Water damage, elevated moisture, basement eas*



*Water damage, high moisture levels, basement*

**Condition:** • [Cracked](#)

Large wall crack noted at south, second floor. Indication of structural movement. Have repaired as needed prior to closing.

**Task:** Repair

**Time:** Ongoing

# INTERIOR

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*Cracked wall*

## CEILINGS \ General

### Condition: • [Water damage](#)

Water damage, blistering plaster noted at second floor, east. Area was scanned with moisture meter; elevated moisture levels were detected. An active leak is suspected. May be related to either failed chimney flashing or the overall poor condition of the roof. Have water source positively identified and repaired prior to repair of interior finished surfaces.

Elevated moisture levels may support mold growth. Mold testing was not performed at this inspection.

**Implication(s):** Cosmetic defects | Chance of movement



*Elevated moisture readings (18%)*



*Water damage*

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**Condition:** • Typical flaws

**Implication(s):** Cosmetic defects

**Location:** Throughout

**END OF REPORT**





# CPSC Fact Sheet

## Preventing Home Fires: Arc Fault Circuit Interrupters (AFCIs)

Problems in home wiring, like arcing and sparking, can cause fires in the home.

Arc fault circuit interrupters or AFCIs, can provide enhanced protection from fires resulting from these unsafe home wiring conditions.

Typical household fuses and circuit breakers do not respond to early arcing and sparking conditions in home wiring. By the time a fuse or circuit breaker opens a circuit to defuse these conditions, a fire may already have begun.

### AFCIs vs. GFCIs

AFCIs should not be confused with ground fault circuit interrupters or GFCIs. The popular GFCI devices are designed to provide protection from the serious consequences of electric shock.

While both AFCIs and GFCIs are important safety devices, they have different functions. AFCIs are intended to address fire hazards; GFCIs address shock hazards. Combination devices include both AFCI and GFCI protection in one unit.

### Should You Install AFCIs?

You may want to consider adding AFCI protection for both new and existing homes. Older homes with ordinary circuit breakers especially may benefit from the added protection against the arcing faults that can occur in aging wiring systems.

For more information about AFCIs, contact an electrical supply store, an electrician, or the manufacturer of the circuit breakers already installed in your home. Sometimes these components can be replaced with AFCIs in the existing electrical panel box.

Be sure to have a qualified electrician install AFCIs; do not attempt this work yourself. The installation involves working within electrical panel boxes that are usually electrically live, even with the main circuit breakers turned off.

Publication 5133  
R042012

U.S. Consumer Product Safety Commission, Bethesda, MD 20814 • (800) 638-2772 • [www.cpsc.gov](http://www.cpsc.gov) • [www.saferproducts.gov](http://www.saferproducts.gov)



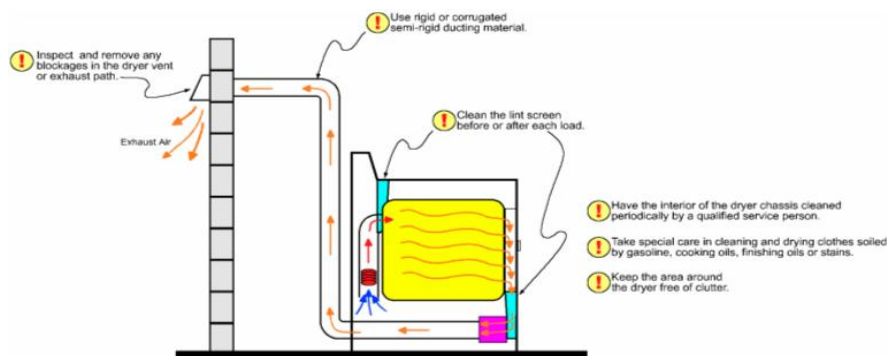
# CPSC Safety Alert

## Overheated Clothes Dryers Can Cause Fires

Fires can occur when lint builds up in the dryer or in the exhaust duct. Lint can block the flow of air, cause excessive heat build-up, and result in a fire in some dryers.

To help prevent fires:

- **Clean the lint screen/filter before or after drying each load of clothes.** If clothing is still damp at the end of a typical drying cycle or drying requires longer times than normal, this may be a sign that the lint screen or the exhaust duct is blocked.
- **Clean the dryer vent and exhaust duct periodically.** Check the outside dryer vent while the dryer is operating to make sure exhaust air is escaping. If it is not, the vent or the exhaust duct may be blocked. To remove a blockage in the exhaust path, it may be necessary to disconnect the exhaust duct from the dryer. Remember to reconnect the ducting to the dryer and outside vent before using the dryer again.
- **Clean behind the dryer, where lint can build up.** Have a qualified service person clean the interior of the dryer chassis periodically to minimize the amount of lint accumulation. Keep the area around the dryer clean and free of clutter.
- **Replace plastic or foil, accordion-type ducting material with rigid or corrugated semi-rigid metal duct.** Most manufacturers specify the use of a rigid or corrugated semi-rigid metal duct, which provides maximum airflow. The flexible plastic or foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow.
- **Take special care when drying clothes that have been soiled with volatile chemicals** such as gasoline, cooking oils, cleaning agents, or finishing oils and stains. If possible, wash the clothing more than once to minimize the amount of volatile chemicals on the clothes and, preferably, hang the clothes to dry. If using a dryer, use the lowest heat setting and a drying cycle that has a cool-down period at the end of the cycle. To prevent clothes from igniting after drying, do not leave the dried clothes in the dryer or piled in a laundry basket.



Publication 5022 062003 022012

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